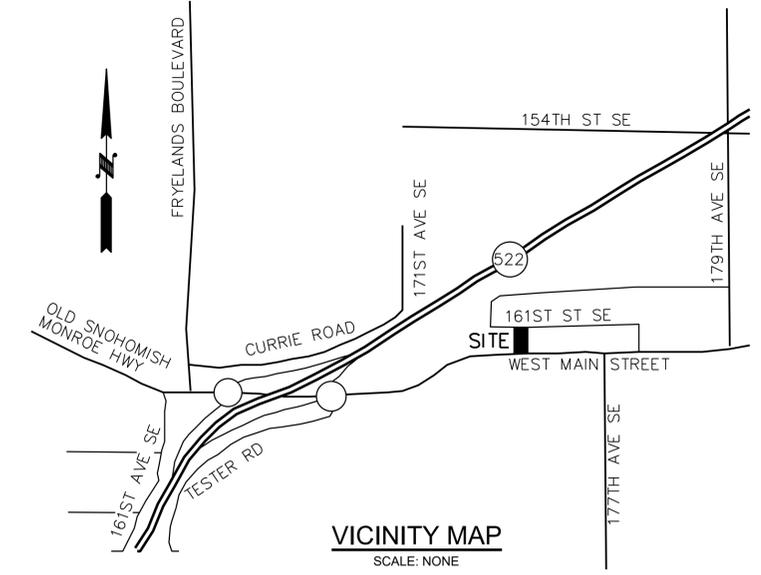
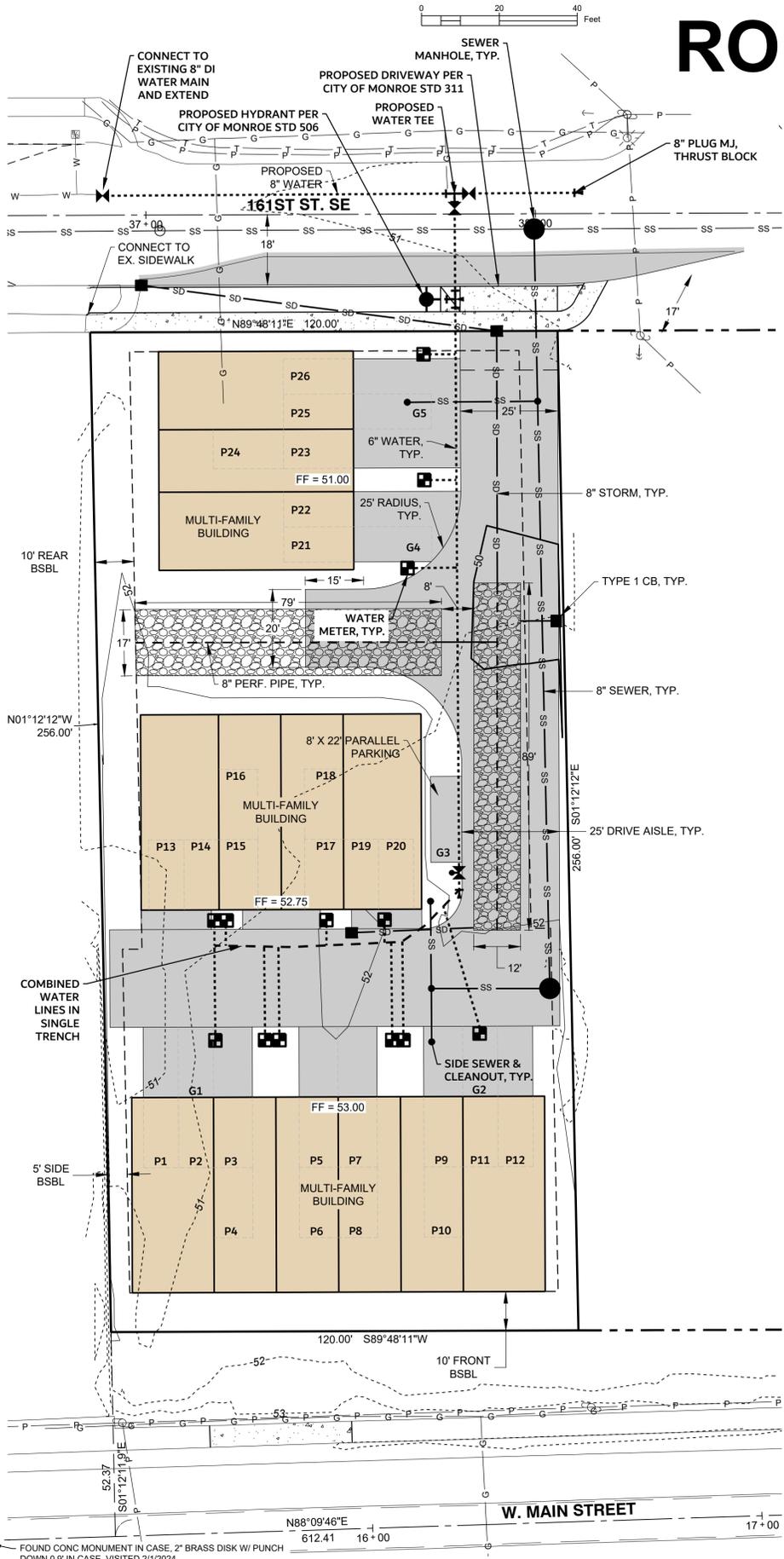


SECTION 02, TOWNSHIP 27 NORTH, RANGE 06 EAST, W.M.

RODLAND DEVELOPMENT



VICINITY MAP
SCALE: NONE

DATUM NAVD 88
BENCHMARK
BENCHMARK 1
SET MAG NAIL & WASHER AT SOUTH DRIVEWAY ENTRANCE BETWEEN PAVEMENT AND CONCRETE SIDEWALK.
ELEV. = 53.17'
BENCHMARK 2
SET MAG NAIL & WASHER SET ALONG NORTH SIDE OF PAVEMENT ALONG 161ST ST SE.
ELEV. = 50.89'
VERTICAL INFORMATION DERIVED FROM MULTIPLE GPS OCCUPATIONS UTILIZING THE WASHINGTON STATE REFERENCE NETWORK.

- LEGEND**
- FOUND MONUMENT IN CASE
 - FOUND IRON PIPE AS NOTED
 - FOUND REBAR AS NOTED
 - FOUND PLAT MONUMENT
 - BENCH MARK
 - ▲ CONTROL POINT
 - ▭ CATCH BASIN
 - ⊗ WATER VALVE
 - ⊗ GAS VALVE
 - LUMINAIRE
 - △ TRANSFORMER PAD
 - MAILBOX
 - ⊕ SIGN POST
 - S SEWER MANHOLE
 - T TELEPHONE PEDESTAL
 - ⊗ JUNCTION BOX
 - ⊕ POWER POLE W/ U.G. FEED
 - ⊕ POWER POLE
 - ⊕ FIRE HYDRANT
 - ⊕ WATER METER
 - x GROUND SHOT
 - FENCE LINE
 - g- GAS LINE
 - p- POWER LINE
 - up- POWER LINE (UNDERGROUND)
 - ss- SEWER LINE
 - sd- STORM DRAIN LINE
 - t- TELEPHONE LINE
 - ut- TELEPHONE LINE (UNDERGROUND)
 - w- WATER LINE
 - ASPHALT PAVING
 - CONCRETE SIDEWALK

LEGAL DESCRIPTION
PER QUIT CLAIM DEED AFN 200903180468:
LOTS 5, 6 AND 7, BLOCK 3, PLAT OF MONROE, ACCORDING TO PLAT THEREOF RECORDED IN VOLUME 2 OF PLATS, PAGE 84, RECORDS OF SNOHOMISH COUNTY, WASHINGTON, TOGETHER WITH 16 FEET OF VACATED ALLEY LYING ADJACENT THERETO PER CITY OF MONROE ORDINANCE NO. 933 RECORDED UNDER AUDITOR'S FILE NO. 9003130323.
SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

SITE INFORMATION

| | |
|-----------------------|---------------------------------------|
| TAX PARCEL | 005173-003-004-00, 005173-003-005-00 |
| SITE ADDRESS | 17509 W. MAIN ST. MONROE, WA 98272 |
| ZONING | MIXED USE-GENERAL (MG) |
| COMP PLAN | MIXED USE-GENERAL (MG) |
| USE CLASSIFICATION | DWELLINGS, SINGLE FAMILY |
| PROPERTY SIZE (TOTAL) | 30,715 SF (.70 AC) |
| JURISDICTION | CITY OF MONROE |
| NUMBER OF UNITS | 13 UNITS |
| DWELLING UNITS / ACRE | 20 DU/AC |

OWNER / APPLICANT
ROY RODLAND
21819 WOODS CREEK RD.
MONROE, WA 98272
(360) 794-6621

CONTACT
JUSTIN PEDERSEN
HARMSEN, LLC
2822 COLBY AVE., SUITE 300
EVERETT, WA 98201
(425) 252-1884
justinp@harmssenllc.com

CIVIL ENGINEER
DAVID HARMSEN, PE
HARMSEN, LLC
2822 COLBY AVE., SUITE 300
EVERETT, WA 98201
(425) 252-1884
davidh@harmssenllc.com

LAND SURVEYOR
ANDY MCLEAN
HARMSEN, LLC
2822 COLBY AVE., SUITE 300
EVERETT, WA 98201
(425) 252-1884
andy@harmssenllc.com

DEVELOPMENT STANDARDS

| | |
|---------------------------|---------------------------------------|
| MIN LOT DIMENSIONS | N/A |
| SETBACKS ^{1,2,3} | FRONT-10 FT EACH SIDE-5 FT REAR-10 FT |
| LOT COVERAGE | 100% MAX. |

INTERSECTION
161ST ST. SE. STA=40+15.06
176TH AVE. SE. STA=33+28.93

176TH AVE. SE

INTERSECTION
W. MAIN STREET, STA=18+63.85
176TH AVE. SE, STA=30+00.00

FOUND CONC PC MONUMENT IN CASE
2" BRASS DISK W/ PUNCH
DOWN 0.9" IN CASE
VISITED 2/1/2024

REVISIONS

HARMSEN ENGINEERS SURVEYORS
(425) 252-1884
(206) 343-5903
2822 COLBY AVE., SUITE 300
EVERETT, WA 98201



RODLAND DEVELOPMENT
17509 W. MAIN ST.
MONROE, WA 98272

LAND USE SITE PLAN

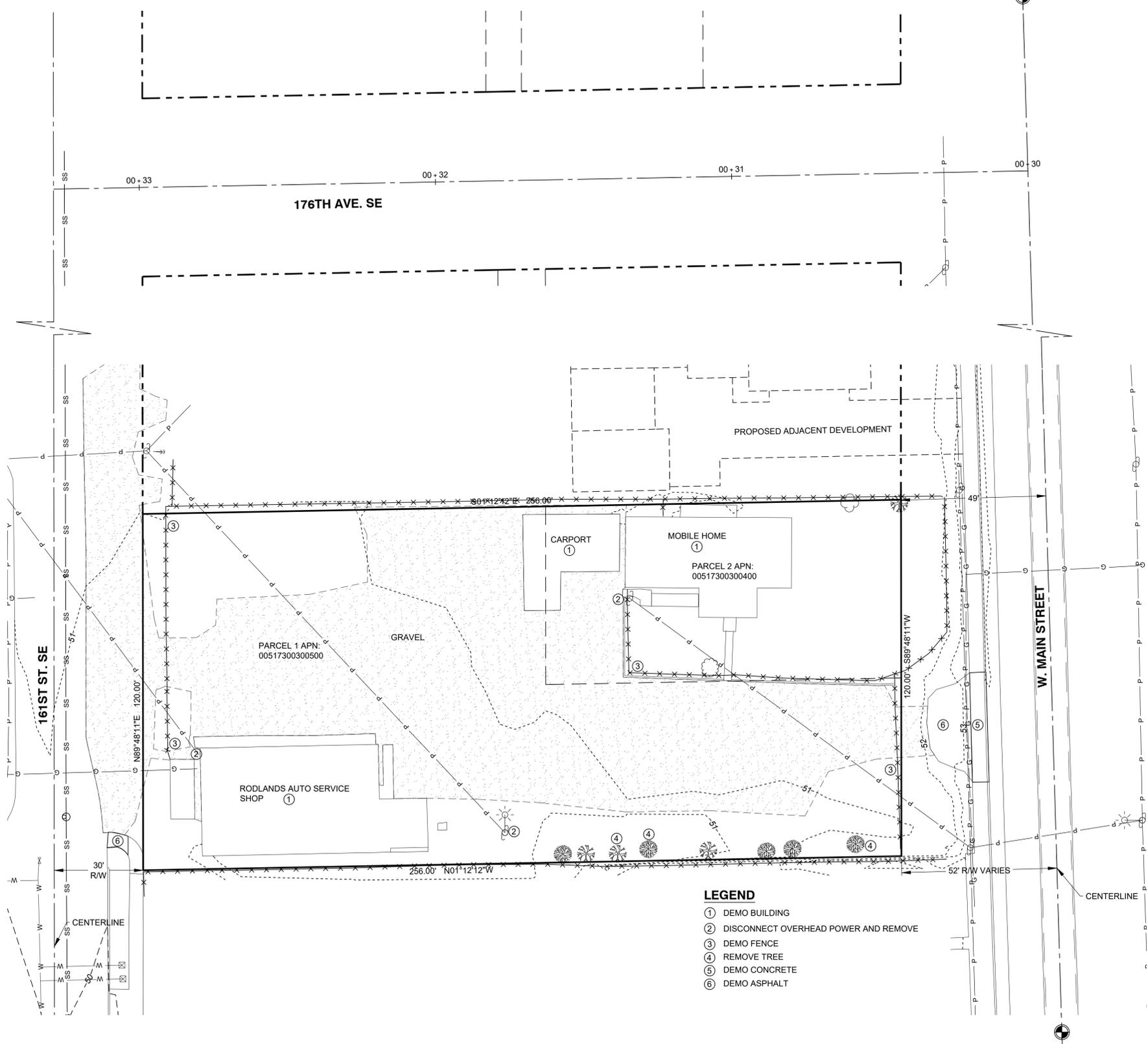
DATE: 08/27/2025

JOB #: 24-037



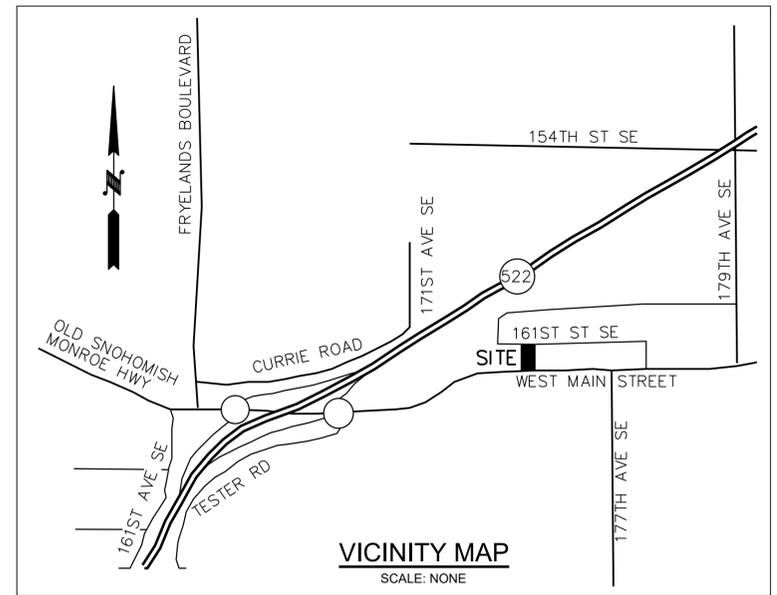
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RODLAND DEVELOPMENT



LEGEND

- ① DEMO BUILDING
- ② DISCONNECT OVERHEAD POWER AND REMOVE
- ③ DEMO FENCE
- ④ REMOVE TREE
- ⑤ DEMO CONCRETE
- ⑥ DEMO ASPHALT



DATUM NAVD 88
BENCHMARK
 BENCHMARK 1
 SET MAG NAIL & WASHER AT SOUTH DRIVEWAY ENTRANCE BETWEEN PAVEMENT AND CONCRETE SIDEWALK.
 ELEV. = 53.17
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 VERTICAL INFORMATION DERIVED FROM MULTIPLE GPS OCCUPATIONS UTILIZING THE WASHINGTON STATE REFERENCE NETWORK.

LEGAL DESCRIPTION

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 andym@harmssenllc.com

DEVELOPMENT STANDARDS

| | |
|---------------------------|---------------------------|
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| SETBACKS ^{1,2,3} | |
| FRONT-10 FT | EACH SIDE-5 FT REAR-10 FT |
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REVISIONS

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RODLAND DEVELOPMENT
 17509 W. MAIN ST.
 MONROE, WA 98272

LAND USE
 EXISTING

DATE:
08/27/2025

JOB #:
24-037



P1.0

